

CB(1)501/15-16(02)

元朗南

房屋用地規劃及工程研究 - 勘查研究
PLANNING AND ENGINEERING STUDY FOR
HOUSING SITES IN YUEN LONG SOUTH - INVESTIGATION

第三階段社區參與 Stage 3 Community Engagement

建議發展大綱草圖
Draft Recommended
Outline Development
Plan (RODP)

立法會發展事務委員會
Legislative Council
Panel on Development
26.1.2016

研究目的

Study Objective

探討善用元朗南受破壞棕地的發展潛力
提供配套基礎建設及社區設施作房屋和
其他發展用途，並改善現有環境

To examine optimising the development potential of the degraded brownfield land in Yuen Long South (YLS) for housing purpose and other uses with supporting infrastructure and community facilities, and to improve the existing environment



整體意見 General Comments

- 普遍支持元朗南發展
General support of YLS development

規劃及城市設計 Planning & Urban Design

- 加強規劃概念
Strengthen the planning concept
- 關注屏風效應
Concern on wall effect
- 增加商業發展、社區設施及就業機會
More commercial development, community facilities and employment opportunities
- 支持保留常耕農地
Support preservation of active agricultural land
- 關注禽畜養殖場可能造成環境滋擾，亦有訴求保留養殖場
Concern on environmental nuisance caused by livestock farms. Request for retention of livestock farms

露天貯物及工場用途 Open Storage and Workshop Uses

- 同意以多層工業大廈整合棕土作業及擬議地點
Agree to consolidate brownfield operations in multi-storey industrial compounds and the proposed location
- 關注多層工業大廈可提供的樓面面積及可行性
Concern about adequacy of floor space and feasibility of operations in multi-storey industrial compounds
- 關注工業／住宅為鄰的相容問題
Concern about the industrial/residential interface

運輸基礎設施及交通連接 **Transport Infrastructure and Connectivity**

- **憂慮交通影響**
Grave concern on the traffic impact
- **改善交通網絡、公共交通服務，及與元朗新市鎮及洪水橋新發展區的連接**
Improve road networks, public transport services and connectivity with Yuen Long New Town and Hung Shui Kiu (HSK) New Development Area (NDA)
- **支持發展環保運輸服務**
Support environmentally friendly transport services (EFTS)

排水 **Drainage**

- **覆蓋及活化元朗明渠意見不一**
Diverse views on decking and revitalization of Yuen Long Nullah

環境及生態 **Environment & Ecology**

- **盡量減少對鷺鳥及天然河溪的影響**
Minimise impacts on egrets and natural streams

實施安排 **Implementation Arrangements**

- **憂慮實施機制**
Grave concern about implementation mechanism
- **儘量減少對現有發展/用途的影響**
Minimise impact on existing developments/ uses
- **向所有受影響人士提供公平合理的補償及搬遷/安置安排**
Fair and reasonable compensation and relocation/rehousing to all affected parties

定位、願景及規劃區

Positioning, Vision and Planning Areas

定位 Positioning

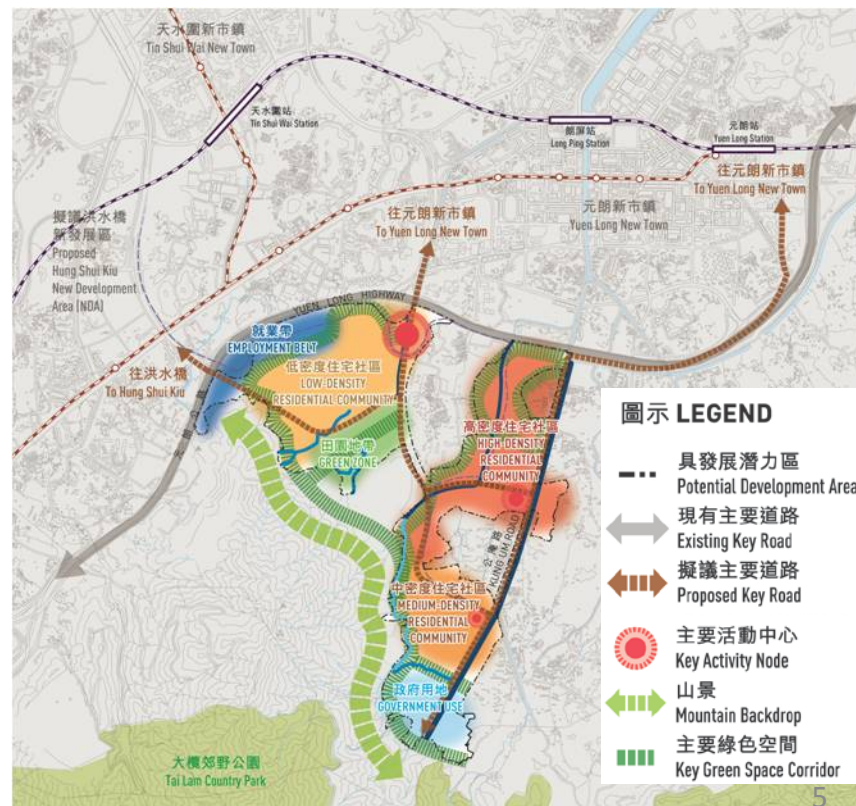
- 元朗新市鎮的南面擴展部分
Southern Extension of Yuen Long New Town
- 中長期房屋土地供應的主要來源之一
(27,700新增單位)
One of the major sources of housing land supply (27,700 new flats) in medium to long term

願景 Vision

- 建立一個可持續、綠色及宜居的社區
To create a sustainable, green and livable community

規劃區 Planning Areas

- 三個住宅區，各有不同發展密度
Three residential communities of different densities
- 「就業帶」“Employment Belt”
- 「田園地帶」“Green Zone”



圖示 LEGEND

- 具發展潛力區
Potential Development Area (PDA)
- ⇄ 現有主要道路
Existing Key Road
- ⇄ 擬議主要道路
Proposed Key Road
- ⊙ 主要活動中心
Key Activity Node
- ⬆ 山景
Mountain Backdrop
- ▬ 主要綠色空間
Key Green Space Corridor

建議發展大綱草圖

Draft Recommended Outline Development Plan (RODP)

具發展潛力區 Potential Development Area	約about 223公頃ha	
發展用地 Development Area	約about 183公頃ha	
人口 Total Population	約about 85,000 (約 about 82,700 新人口 New Population)	
新住宅單位數量 No. of New Flats	約 about 27,700	
房屋比例 Housing Mix	公營房屋 Public Housing:	60% (約 about 16,500單位 Units)
	私人房屋 Private Housing:	40% (約 about 11,200單位 Units)
地積比率 Plot Ratio (PR)	1 至 to 5	
就業機會 Job Opportunities	約 about 10,800	
預計首批入伙年份 Anticipated Year for First Population Intake	First Population Intake 首批入伙年份: Year 2026年	

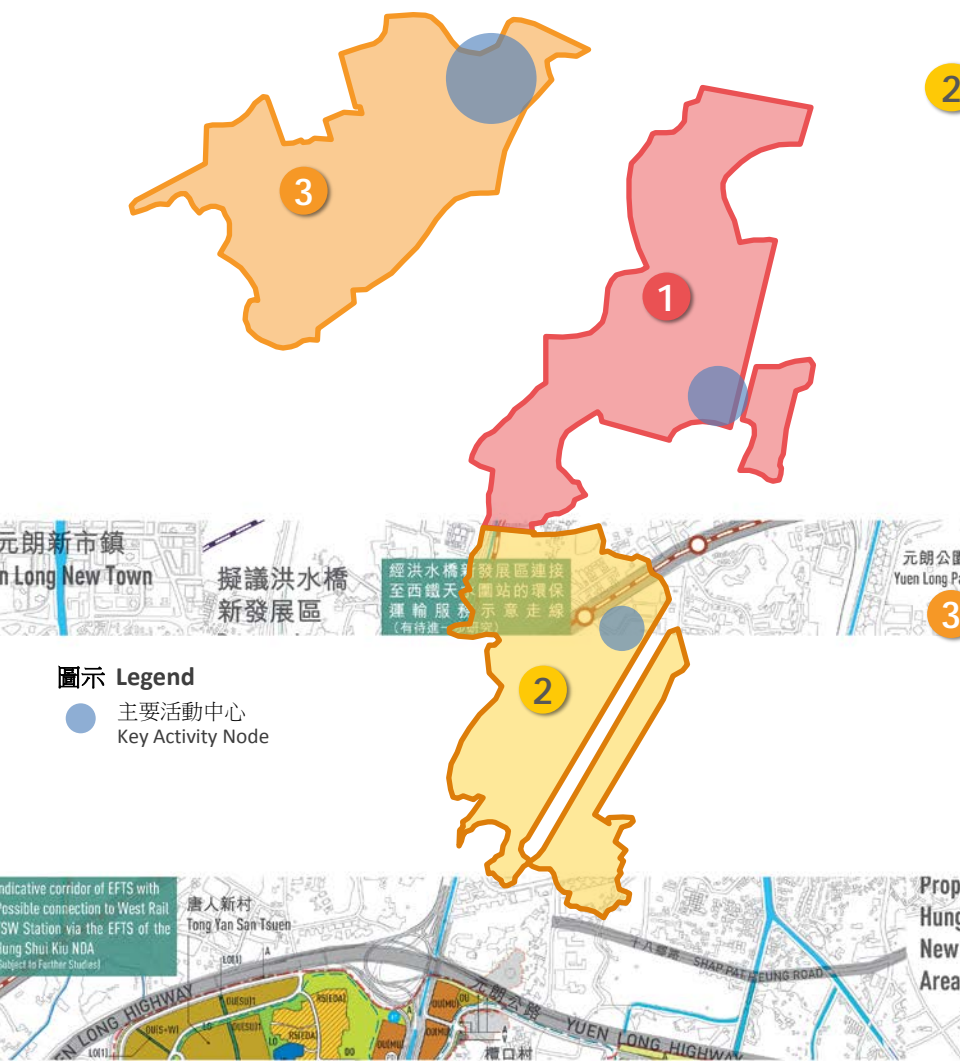
土地用途地帶 LAND USE ZONING

SRH	公共屋宇 - 租住公屋(包括商業用途) Special Residential - Public Rental Housing (with Commercial)
RSSP	住宅發展(資助出售房屋包括商業用途) Residential (Subsidised Sale Flats with Commercial)
Rc	住宅發展(包括商業用途) Residential (with Commercial)
R	住宅發展 Residential
SR(DM)	住宅發展第五區(現有發展區) Residential - Zone 5 (Existing Development Area)
V	鄉村式發展 Village Type Development
C	商業 Commercial
OU	其他指定用途 Other Specified Uses
OU(SU)	其他指定用途(貯物用途) Other Specified Uses (Storage Use)
OU(OS)	其他指定用途(露天貯物) Other Specified Uses (Open Storage)
OU(S-W)	其他指定用途(貯物及工場用途) Other Specified Uses (Storage and Workshop Uses)
OU(SW)	其他指定用途(污水處理廠) Other Specified Uses (Sewage Treatment Works)
OU(M)	其他指定用途(混合發展) Other Specified Uses (Mixed Use)
OU	其他指定用途(山邊河道及觀景單車徑) Other Specified Uses (Hillside River Corridor with Scenic Cycle Track)
G	政府 Government
IC	機構或社區 Institution or Community
E	教育 Education
DO	地區休憩用地 District Open Space
LO	鄰舍休憩用地 Local Open Space
A	美化市容地帶 Amenity
AGR	農業 Agriculture
GB	綠化地帶 Green Belt



五個規劃區

Five Planning Areas



圖示 Legend
● 主要活動中心
Key Activity Node

1 都會生活區 Urban Living Planning Area

- 最接近元朗新市鎮，發展密度最高，地積比率為5 倍
Located closest to Yuen Long New Town with highest development density of plot ratio (PR) 5
- 設主要活動中心，並設「低矮建築帶」及「非建築用地」減少對鄉村及鷺鳥影響

Designate key activity nodes, “Low Building Areas” and “Non Building Areas” to minimise impacts to villages and egrets

2 樂活生活區 LOHAS Living Planning Area

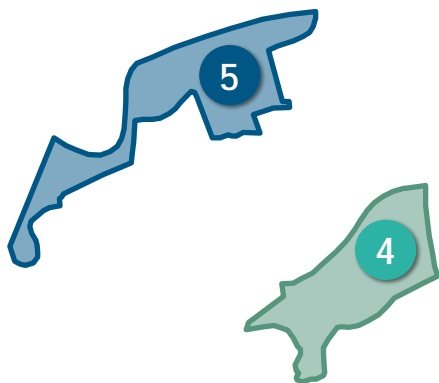
- 鄰近大欖郊野公園，作低至中密度發展，地積比率為2.4 及4 倍
Near Tai Lam Country Park, for low to medium-density development with PR of 2.4 and 4
- 南面土地作政府用途
Southern part reserved for government use
- 南面邊緣現有禽畜養殖場劃為「農業」用地（須符合環境評估要求）
Existing livestock farms at the southern fringe zoned “Agriculture” (subject to compliance of environmental requirements)

3 花園城區 Garden Community Planning Area

- 門廊位置作混合商住用途，地積比率為3.5倍
Mixed commercial and residential development with PR 3.5 at “Gateway” location
- 唐人新村區內現有住宅社區，附近地區作低密度發展，地積比率為1及1.5 倍
Low-density development with PR of 1 and 1.5 to complement existing residential developments at Tong Yan San Tsuen
- 盡量保留已發展住宅社區
Retain well-established residential communities as far as possible

五個規劃區

Five Planning Areas



4 田園地帶 Green Zone

保育常耕農地（約8公頃）、次生樹林及天然河溪

Preserve active agricultural land (about 8ha), secondary woodland and natural streams

5 就業帶 Employment Belt

- 預留約12公頃作貯物、工場及露天貯物用途
About 12ha of land reserved for open storage, storage and workshop uses

- 鄰近元朗公路，貨運可快捷到達公路，避免經過住宅區

Near Yuen Long Highway to facilitate with easy access of freight traffic to the highway and avoid freight traffic penetrating residential neighbourhood



改善區內道路及區外連接 Enhancement of internal roads and external connections

A 擬議雙程車道連接元朗南至元朗公路

Proposed dual carriageway to connect YLS to Yuen Long Highway

B 擬議道路連接至西鐵元朗站一帶

Proposed road connecting to the area near the West Rail Yuen Long Station

C 擴闊及改善公庵路及僑興路

Widening and upgrading Kung Um Road and Kiu Hing Road

PTI 四個擬議公共運輸交匯處

4 proposed public transport interchanges (PTI)

預留土地作環保運輸服務，經洪水橋新發展區連接西鐵天水圍站

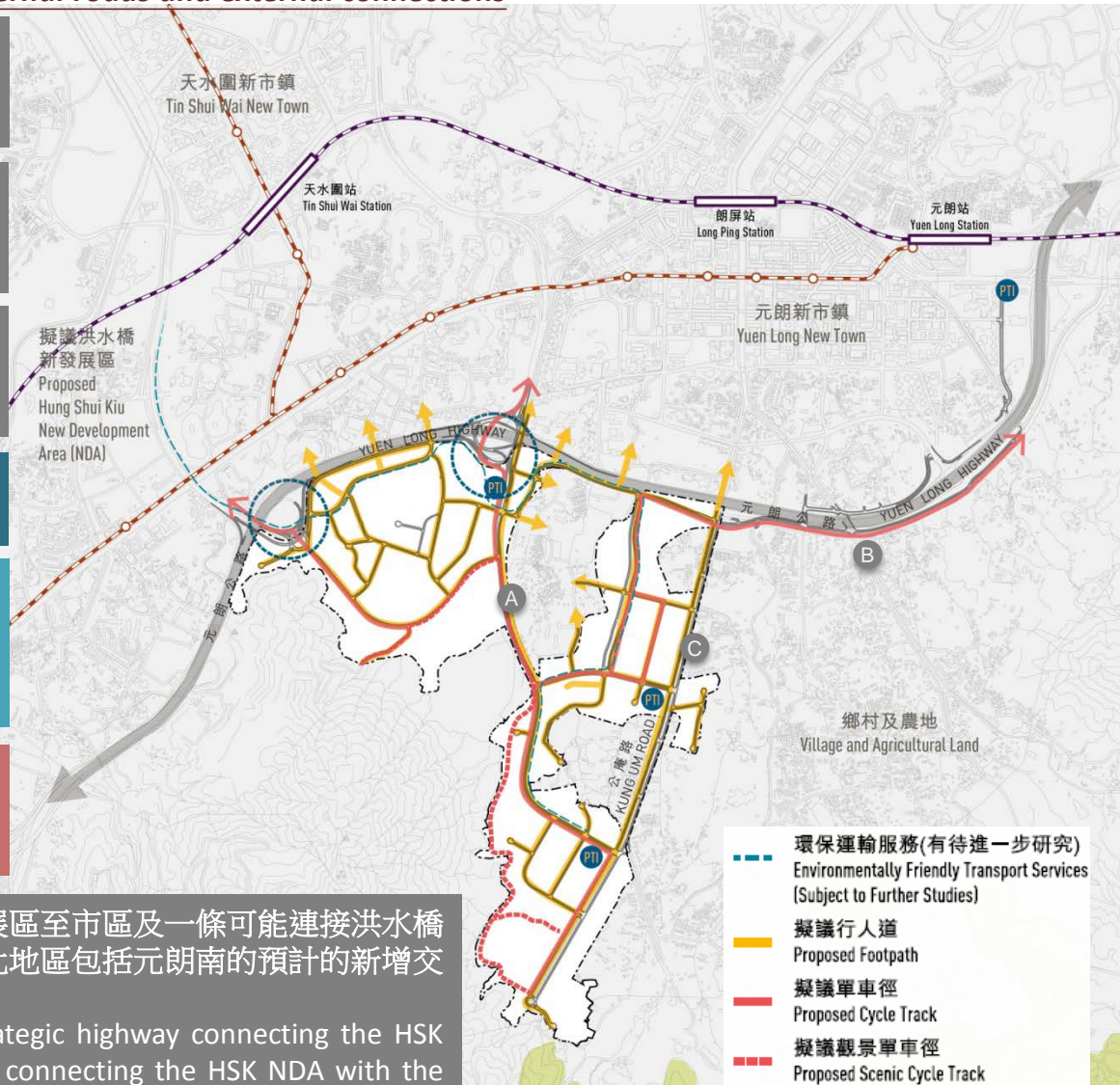
Reserve land for EFTS with connection to West Rail Tin Shui Wai Station via HSK NDA

完善的單車徑、行人網絡及一條觀景單車徑

Comprehensive cycle track and pedestrian networks and a scenic cycle track

政府會研究一條新策略性公路連接洪水橋新發展區至市區及一條可能連接洪水橋新發展區及屯門西繞道的公路，以應付新界西北地區包括元朗南的預計的新增交通量

The Government would study a possible new strategic highway connecting the HSK NDA with the urban area and a possible highway connecting the HSK NDA with the proposed Tuen Mun Western Bypass to cope with the anticipated traffic growth in NWNT including YLS



可持續、綠色及宜居的社區

Sustainable, Green and Livable Community

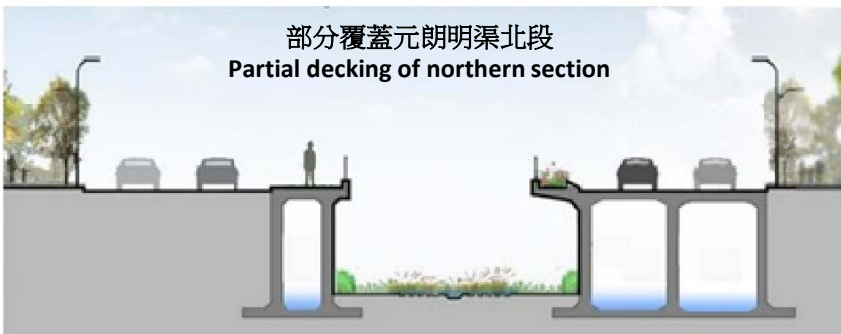
- 結合綠色空間網絡及可持續水資源管理 (包括活化明渠、新河道、蓄洪設施及蘆葦床等)，形成藍綠系統
Blue-green network of green space network and sustainable water management (including revitalised nullahs, new watercourse, retention facilities and reedbed etc.)
- 綠色交通 - 環保運輸服務、完善的單車徑及行人路網絡
Green mobility – EFTS, comprehensive cycle and pedestrian networks
- 元朗明渠 Yuen Long Nullah

北面：部分覆蓋，擴闊公庵路及僑興路，同時活化明渠

Northern: Partially-decked for widening of Kung Um Road and Kiu Hing Road and nullah revitalisation

南面：並全面活化，不會被覆蓋

Southern: Full revitalization without decking



實施安排

Implementation Arrangements

現有居民 Existing Residents

- 盡可能減少影響。然而，無可避免有部分現有構築物需要被清拆
Minimise impacts as far as possible, but clearance of some existing structures unavoidable
- 為所有受計劃發展影響的居民制定合適的安排
Devise suitable arrangement for all affected clearerees
- 參考古洞北／粉嶺北新發展區的補償及安置方案，考慮為受影響的清拆戶提供特設的補償及安置安排(包括原區安置)
Consider special compensation and rehousing arrangements including local rehousing, making reference to the compensation and rehousing package for the Kwu Tung North (KTN) and Fanling North (FLN) New Development Areas (NDAs)

棕地經營者

Brownfield Operators

- 視乎洪水橋新發展區試點的情況，探討發展多層工業大廈或以其他善用土地的方式，容納部分有關作業
(洪水橋新發展區有關發展多層工業大廈的研究預計在今年年中展開)
Explore the use of multi-storey industrial compounds or other land-efficient means to accommodate some of the brownfield operations, subject to the pilot case in the HSK NDA
(Study on multi-storey industrial compounds in relation to HSK NDA would commence in mid 2016)

農民 Farmers

- 建議採用古洞北／粉嶺北新發展區的特殊農地復耕計劃，優先為受發展計劃影響的務農人士和農地業權人進行配對
Propose the special agricultural rehabilitation scheme, similar to that applicable to the KTN/FLN NDAs, by giving priority assistance in matching of farmers and agricultural land owners



- 確保適時有序地發展元朗南
Ensure timely and orderly development of YLS
- 參考古洞北和粉嶺北新發展區的實施模式，考慮採用「加強版的傳統新市鎮發展模式」
“Enhanced Conventional New Town Approach”, making reference to the implementation mode adopted for the KTN/FLN NDAs
- 政府會收回需要規劃作新發展區的土地，同時在符合相關準則及條件的情況下，容許處理土地業權人為個別規劃作私人發展的用地所提出的換地申請
The Government will resume land required for the NDA while allowing the processing of land owner’s applications for land exchange over individual sites planned for private developments subject to meeting specified criteria and conditions
- 考慮第三階段社區參與所蒐集的意見後，制定實施安排的進一步細節
Further details of the implementation arrangements will be worked out in the next stage, taking into account the views of CE3

謝謝
Thank You